



Reinspection Survey For



Woodbastwick Village Hall, Salhouse Road, Woodbastwick, Norwich, Norfolk, NR13 6HQ

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Introduction:



1. Introduction

This report details the observations recorded during the re-inspection of Asbestos Containing Materials commissioned by Caroline of Woodbastwick Village Hall

The purpose of the re-inspection was to examine and record the condition of asbestos containing materials located at the premises to enable compliance with Regulation 4.9 of the Control of Asbestos Regulations 2012 (CAR 2012).

2. Duty to Manage Asbestos in Non Domestic Premises

Regulation 4 of the CAR 2012 prescribes duties that must be complied with when managing the risk from asbestos in non domestic premises.

Regulation 4. (9) CAR states that such measures should where necessary include:

- a. Monitoring of the condition of asbestos or suspect materials.
- b. Proper maintenance or removal of such materials.
- c. Provision of information about the location and condition of such materials is provided to every person liable to disturb it and the emergency services.

Regulation 4. (10) CAR states that measures must be taken to:

- a. Review and revise the management plan.
- b. Implement the measures specified in the plan.
- c. Record such implementation.

This re-inspection has been carried out to provide information to satisfy the requirement of Regulation 4. (9). to monitor the condition of asbestos containing materials.

Introduction cont:



It is the client's responsibility to implement the remaining requirements of Regulation 4.

Monitoring of the condition of identified asbestos containing materials is recommended at least every six months to a year or at shorter intervals as advised to enable compliance with regulation 4. (9) of CAR.

3. Results

The findings of the re-inspection are detailed in Table 1 of this report, along with supporting data sheets for each occurrence.

Asbestos containing items identified during the original survey or the last inspection have been examined and their current condition recorded.

For each item the material assessment (and priority assessment where applicable) have been re-calculated for comparison to the previous results.

Limitations & Exclusions

This inspection and assessment report has taken account of asbestos materials as detailed within the original survey report and no guarantees can therefore be made that all asbestos materials within the original survey scope have been identified. It should therefore be duly noted that this document is not an Asbestos Management Survey as defined in HSG 264 and should not be thought to be so. Due to the inherent restrictions of undertaking non-intrusive Asbestos Management Surveys it is entirely possible that limitations, restrictions or exclusions were encountered whilst undertaking the original survey. Subsequently it is strongly recommended that this re-inspection report is used in conjunction with the original survey report and the survey scope and any subsequent limitations are also taken into consideration.

The re-inspection involved undertaking a condition assessment of the accessible ACMs within the original survey that could be visually identified and that may be prone to possible damage or deterioration. Any presumed areas or items within the original survey report where visual inspection could not be obtained (i.e. plant & electrical equipment not opened for inspection or CAF gaskets on a pipe run) may not have been included within the re-inspection report.

Inspection and subsequent assessments have been compiled utilising data provided by 3rd parties and information collected whilst the surveyor is on site. It should therefore be noted that Asbestos Survey Solutions Ltd will not be held responsible for any inaccuracies or discrepancies arising from information provided by 3rd parties and / or information contained within any original asbestos survey reports that have not been previously undertaken and subsequently compiled by Asbestos Survey Solutions Ltd.

Recommendations:



4. Recommendations

To comply with and ensure that the requirements of section 2 & 3 of the Health and Safety at Work Act (as amended) 1974, the Management of Health and Safety at Work Regulations 1999, the Control of Asbestos Regulations 2012 and the Control of Substances Hazardous to Health 2002 are met. The following recommendations should be implemented:

Undertake suitable and sufficient Risk Assessments of asbestos containing materials against normal occupation and maintenance operations, in compliance with Regulations 3 of the Management of Health & Safety at Work Regulations 1999 and Regulation 6 of the Control of Asbestos Regulations 2012.

The findings of the survey and re-inspection reports be brought to the attention of those persons who are likely to come in contact with asbestos, in compliance with Section 2 and 3 of the Health and Safety at Work Act (as amended) 1974 and Regulation 9 of the Control of Asbestos Regulations 2012.

The findings of this re-inspection report are used to update the Asbestos Management Policy and to review this policy for implementation against planned arrangements in compliance with Regulation 4 of the Control of Asbestos Regulations 2012.

Specific recommendations in respect to the location and condition of asbestos materials recorded during the course of this re-inspection are recorded in the Data Sheets and Re-inspection Report Register. In considering the management of asbestos materials identified to date, these recommendations should be referred to and complied with.

It is recommended that further intrusive investigations and sampling be carried out where any refurbishment, maintenance, or similar activity may expose asbestos materials that have remained inaccessible during this re-inspection survey or the initial asbestos management survey. This should be a refurbishment / demolition survey as documented by HSG 264.

Regarding Identified Friable Asbestos Materials

Asbestos Insulating Board (AIB) patches were identified to 4 areas of the internal hall ceiling. For specific detailed information refer to the Survey Data Sheets. AIB is a low density, friable material with a high potential to release airborne asbestos fibres when damaged & disturbed & is categorised as a licensed material. Working with this material, including encapsulation & repair must only be undertaken by a specialist licensed contractor. Due to the friable nature of AIB, extra care should be taken to ensure anyone likely to disturb it are made aware of the presence of asbestos & (where practical) asbestos warning labels applied & the board is regularly inspected/monitored for damage & deterioration. Any boards that are deemed vulnerable by position should be either removed entirely or covered over with an impact resistant finish & managed in situ.

Managing & Maintaining Asbestos Cement Products

Upon inspection it was established that asbestos cement bonded products were present on site in the form of roof sheets & wall boards. Most of the asbestos cement products were in good / fair condition, however, some areas of localised damage & deterioration were observed. As this is a working site it is strongly recommended that a Priority Assessment is undertaken as detailed within HSE Document: HSG 227, A Comprehensive Guide to Managing Asbestos in Premises to determine the likelihood of disturbance of any ACMs in order to assign the appropriate control measure to ensure disturbance is kept to a minimum.

Although the total material assessment risk scores for asbestos cement materials in poor condition that contain only Chrysotile asbestos are regarded as "low risk", in accordance with the regulations, duty holders have an obligation to ensure the risks from asbestos are brought down to as low a level as reasonably practicable. Subsequently to ensure best practice, where significant damage to asbestos cement products is present, it is strongly recommended that they be either removed entirely & replaced with modern cement fibre replacement boards or any bare broken edges are sealed with an acrylic polymer coating such as Bostic Indenden ET 10 or similar product to ensure any loose fibres are secure, especially if situated internally or in an enclosed area.

Note: any boards left in situ will need to be managed in accordance with: L143 - Managing & working with asbestos.

Where it has been established that damage has occurred as a result of work activities or where boards are considered to be 'vulnerable by position', management strategies should be implemented to ensure further damage does not occur. This may involve for example: installing a physical barrier or impact resistant surface finish, installing warning signage & undertaking regular inspections for damage & deterioration as part of the management system.

Regarding Moss Growth to Roof Sheets

Where asbestos cement roof sheets have been identified with moss growth, it is possible that any loose moss debris to adjoining gutters or the ground surrounding the building perimeter may be contaminated. It is therefore strongly recommended that the clearing of moss debris to the ground or gutter catchment systems be undertaken by the appropriate asbestos trained & competent personnel in accordance with ACOP L143 & the UK Waste Regulations. Access to any affected areas should also be restricted until remedial work has been completed.

As the build-up of possible asbestos contaminated debris & general debris will likely be an on-going issue, the affected areas will need to be subjected to regular inspection & the same procedures for removal adopted going forward as & when required. As an additional measure, it is also recommended that where possible & practical to do so, filters or gutter catchment systems are installed at the tops of rainwater downpipes to catch larger pieces of debris. Where it has been identified that the build-up of associated debris is a result of either the roof sheets or gutters delaminating or being damaged, it is strongly recommended that the client considers removal & replacement in the longer term.

Working With Asbestos Cement Materials

Asbestos cement products are non-friable materials that do not generate high levels of airborne asbestos fibres when disturbed & were commonly used as building materials up until 1999 when the importation & use of Chrysotile (White Asbestos) was banned. Asbestos cement products are predominately cement based and generally contain a small amount of Chrysotile asbestos & (approximately 10% & 90% Portland cement) to provide strength. Asbestos cement products manufactured prior to 1985 may also, in addition to Chrysotile, contain a small amount of blue asbestos (Crocidolite). Work with asbestos containing materials must be undertaken by the appropriate trained & competent personnel in accordance with HSE document: L143 Managing & working with asbestos.

Delaminating Asbestos Cement Products

Where asbestos cement bonded materials start to peel & delaminate, the ability of the product to function as intended is compromised & is also likely to get significantly worse within a relatively short period of time. In these circumstances it is strongly recommended that the client considers removal & replacement in the longer term.

Regarding Peeling Paint & Encapsulating Asbestos Cement

Where peeling paint to asbestos cement products is observed it is often the case that the asbestos cement product is actually in good or fair condition, unfortunately however it is not possible to categorically state that no asbestos fibres are attached to any flaking paint or any associated paint debris. It is therefore strongly recommended that the painting of asbestos cement products (or encapsulation) should only be done utilising good quality acrylic polymer encapsulation paint such as Indendex Bostic ET 150 or equivalent.

Visually Different Cement Bonded Products

Where it is visually evident that different cement boards/items or replacement boards/items have been installed, it is almost impossible to determine the composition by visual inspection alone, especially when the boards/items are weathered & worn. Due to the inherent difficulties & practicalities of sampling & documenting all different colours & shades of cement bonded products, it is recommended that definitive identification for asbestos content be deferred to a later date as & if required & all suspect materials be presumed to contain asbestos until definitively proven otherwise.

Table 1 – Re-Inspection Report:



Table 1 - Re-inspection Register

| Item No | Sample Ref. | Building | Floor | Room | Item Description | Asbestos Type Value | Material Value | Condition Value | Surface Treatment Value | Total Score | Status | Recommendation |
|---------|--------------|-------------|--------------|---------------------------------|---|---------------------|----------------|-----------------|-------------------------|----------------------|------------------|---|
| 1 | SA003979* | Outbuilding | External | Roof, R1b, (See Drawings) | Cement Sheets 01 To Roof | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 2 | As SA003979* | Outbuilding | External | Elevations, E1b, (See Drawings) | Cement Sheets 01 To All Elevations | 1 | 1 | 2 | 1 | 5 (LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 3 | SA003980* | Outbuilding | External | Elevations, E1b, (See Drawings) | Cement Sheet 02 To Front Elevation | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 4 | SA003981* | Outbuilding | External | Elevations, E1b, (See Drawings) | Cement Sheets 03 To Front Elevation | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 5 | As SA003979* | Outbuilding | Ground Floor | Internal, G1b, (See Drawings) | Rearside of Cement Boards To Roof & Walls | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | Unable to Access | C-Manage in Situ, Re-inspect Annually |
| 6 | As SA003979* | Outbuilding | Ground Floor | Internal, G2b, (See Drawings) | Rearside of Cement Boards To Roof & Walls | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | Remedial Action Required - See surveyors comments |

Table 1 - Re-inspection Register (cont)

| Item No | Sample Ref. | Building | Floor | Room | Item Description | Asbestos Type Value | Material Value | Condition Value | Surface Treatment Value | Total Score | Status | Recommendation |
|---------|-----------------------|--------------|--------------|--------------------------------------|---|---------------------|----------------|-----------------|-------------------------|------------------------------------|-----------|---|
| 7 | SA003982* | Village Hall | External | Pitched Roof, R1a, (See Drawings) | Cement Sheets 04 To Roof | 1 | 1 | 2 | 1 | 5 (LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 8 | As SA003982* | Village Hall | External | Pitched Roof, R1a, (See Drawings) | Possible Contaminated Moss Within Gutters | 1 | 1 | 3 | 1 | 6 (LOW RISK) | No Change | C-Manage in Situ |
| 9 | SA003983* | Village Hall | External | Sloping Roof, R2a, (See Drawings) | Cement Sheets 05 To Roof | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 10 | As SA003983* | Village Hall | External | Sloping Roof, R2a, (See Drawings) | Possible Contaminated Moss Within Gutter | 1 | 1 | 3 | 1 | 6 (LOW RISK) | No Change | C-Manage in Situ |
| 12 | SA003984* | Village Hall | External | Elevations, E1a, (See Drawings) | Bitumen Damp Course To Elevations | 1 | 1 | 1 | 0 | 3 (VERY LOW RISK) | No Change | C-Manage in Situ |
| 13 | ID/01a {SA003985}* | Village Hall | Ground Floor | Hall, G4a, (See Drawings) | Insulating Board Panel, P1 To Ceiling | 2 | 2 | 1 | 1 | 6 (LOW RISK) | Updated | C-Manage in Situ, Re-inspect Annually |
| 18 | SA003988* | Village Hall | Ground Floor | Snooker Room, G7a, (See Drawings) | Textured Coating 02 To Ceiling | 1 | 1 | 0 | 1 | 3 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 20 | As SA003982* | Village Hall | Roof Void | Roof Void, RV-1, (See Drawings) | Underside Of Cement Roof Sheets . | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |

Table 1 - Re-inspection Register (cont)

| Item No | Sample Ref. | Building | Floor | Room | Item Description | Asbestos Type Value | Material Value | Condition Value | Surface Treatment Value | Total Score | Status | Recommendation |
|---------|-----------------------|--------------|--------------|----------------------------------|---------------------------------------|---------------------|----------------|-----------------|-------------------------|------------------------------------|-----------|---|
| 21 | As SA003983* | Village Hall | Roof Void | Roof Void, RV-2, (See Drawings) | Underside Of Cement Roof Sheets . | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 22 | As SA003982* | Village Hall | Roof Void | Roof Void, RV-03, (See Drawings) | Underside Of Cement Roof Sheets . | 1 | 1 | 1 | 1 | 4 (VERY LOW RISK) | No Change | C-Manage in Situ, Re-inspect Annually |
| 24 | As ID/01a {SA003985}* | Village Hall | Ground Floor | Hall, G4a, (See Drawings) | Insulating Board Panel, P2 To Ceiling | 2 | 2 | 1 | 1 | 6 (LOW RISK) | Updated | C-Manage in Situ, Re-inspect Annually |
| 25 | As ID/01a {SA003985}* | Village Hall | Ground Floor | Hall, G4a, (See Drawings) | Insulating Board Panel, P3 To Ceiling | 2 | 2 | 1 | 1 | 6 (LOW RISK) | Updated | C-Manage in Situ, Re-inspect Annually |
| 26 | As ID/01a {SA003985}* | Village Hall | Ground Floor | Hall, G4a, (See Drawings) | Insulating Board Panel, P4 To Ceiling | 2 | 2 | 1 | 1 | 6 (LOW RISK) | Updated | Remedial Action Required - See surveyors comments |

Inaccessible Areas

PRESUMED ASBESTOS/NO ACCESS AREAS & LIMITATIONS

In accordance with HSG 264: *Asbestos, the survey guide*, survey protocols decree that any areas (or items) where full access could not be obtained must by default be 'presumed' to contain asbestos until proven otherwise. The management plan / policy will need to identify that these areas / items require inspection prior to disturbance in order to confirm or refute the possible presence of asbestos.

Any specific rooms or areas where access could not be obtained are listed in the table below along with any older plant & electrical items or building components that the surveyor is familiar with that are known to contain, (or possibly) contain asbestos parts & components:

| Item Number | Building | Floor | Sample No (S,SP,P,As) | Room/Area | Recommendation |
|-------------|--------------|--------------|-----------------------|--|--------------------------------|
| 11 | Village Hall | External | Visual (P) | Elevations, E1a, (See Drawings), Crittal Window Fixings Not Accessible | D-Inspect Prior to Disturbance |
| 14 | Village Hall | Ground Floor | Visual (P) | Throughout, Where Present, (See Drawings), Wall Mounted Heaters Not Dismantled | D-Inspect Prior to Disturbance |

Generic Exclusions

Asbestos management surveys are non-destructive/non-intrusive by nature & are subsequently inherently limited in their scope. It is therefore strongly recommended that before acting on any information contained within this re-inspection report, the original asbestos management survey is consulted for further information with regard to the original survey scope including any exclusions, no access areas and/or survey limitations that were encountered.

Generally, the following generic exclusions apply to non-intrusive survey investigations unless specified to the contrary:

- 1 Plant & electrical items are generally subjected to external inspections only & will not have been dismantled or opened up for inspection
- 1 Any concealed pipe-work flanges, air extraction ducting or ducting to heating systems will likely not have been dismantled for inspection
- 1 No access is generally obtained within any bricked in voids & cavities, fireplaces or chimneys
- 1 No inspection access is generally obtained above & behind 'fixed' ceilings and false walls that would cause excessive damage by opening up for inspection (e.g. plasterboard / walls & ceilings)
- 1 No access will have been obtained within any 'sealed' boxing or riser voids (without screw fixings)
- 1 The survey will not have taken account of any 'concealed' textured coatings that may contain asbestos or other asbestos materials that have been boarded over or plastered over.
- 1 Inspection access will be limited or may not have been obtained beneath any 'fitted' carpets, sheet floorings or other floor coverings
- 1 Inspection access will be limited or may not have been obtained beneath any floor tiles to ascertain the presence of possible asbestos containing bitumen adhesive
- 1 The survey will likely not have taken account of any concealed asbestos within any floor ducts, flues or floor voids unless specifically stated otherwise
- 1 The survey will likely not have taken account of any 'concealed' asbestos containing bituminous damp courses (if present)
- 1 Doors are generally subjected to external inspections only & no internal / core inspection within any fire doors is undertaken
- 1 No samples are generally obtained from any bituminous under-felts to any flat roofing systems
- 1 Inspection within loft/roof void/s may have been localised and limited to observations made from the access hatches if no safe walkways were present above the fragile ceilings and joists
- 1 Inspections beneath glass fibre insulation & other insulation materials will be inherently localised & limited
- 1 Inspection of high level areas/rooflines may have been limited to inspection & assessment from ground level

- | The survey will not have taken account of any concealed asbestos behind any UPVC roofline soffits
- | The survey will not have taken account of any asbestos residue that may be concealed beneath any non-asbestos insulation materials to pipe-work
- | The survey will not have taken account of any buried asbestos on site

Note: the above list is not exhaustive but will give a general idea of possible limitations & exclusions encountered whilst undertaking a non-intrusive asbestos management survey.

General Inspection limitations

It should be noted that visual inspection of surface materials, behind surface materials (example; plasterboard) and inspection within voids (where possible) will by nature be “localised & limited” and all similar areas and adjacent surface materials deemed to be of the same composition. Full investigation would require the individual inspection of every square foot, & every linear meter of surface materials within the premises & the complete removal & dismantling of all walls, floors & ceilings to inspect within the void areas which is clearly not practical.

Considerations Regarding No Access

In order to comply with the Asbestos Regulations & to “manage” any known or unidentified asbestos containing materials within the premises, the management system should include a system whereby all visiting contractors are made aware of the presence of identified asbestos materials **and** the possible presence of asbestos within any areas where inspection access could not be obtained. Furthermore; as previously mentioned, due to the inherent restrictions of a non-destructive Management Survey, prior to any building works or major refurbishment works a Pre-Demolition / Refurbishment Survey must be undertaken. It may be that only “localised” intrusive inspection is required within areas of the building that have not undergone **full** inspection but this should be undertaken none the less.


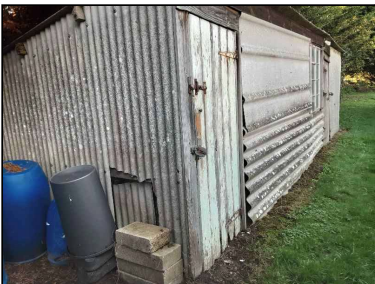
It is acknowledged that even full access demolition surveys may not identify all ACMs & this may only become apparent during full demolition itself. Caution should always be taken when dealing with building materials & any suspect materials (i.e. not wood, brick or plaster-board) should be reported & left undisturbed until properly investigated.

Due to the inherent limitations as detailed above, Asbestos Survey Solutions Ltd cannot be held responsible for any unidentified asbestos containing materials within areas of the building that have not been fully opened up for inspection whilst undertaking the original survey investigation.

Asbestos Products Register





Asbestos Products

| | | | | | | | |
|---|----------------------------|---|---------------------------------|------------------------------------|--------------------|-------------------------------------|----------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis | |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | | Chrysotile (1) |
| | Building | | Room | Item | Quantity | | |
| | Outbuilding | | Roof, R1b, (See Drawings) | Cement Sheets 01 To Roof | See external entry | | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility | |
| | 1 | SA003979* (S) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed | |
| | Material Risk Score | | Status | | | | |
| 4 (VERY LOW RISK) | | No Change | | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | | |
| Surveyor comments | | No changes or deterioration observed. The roof sheets are weathered externally & are extensively covered with moss. The sheets are in fair condition excluding localised areas of minor damage to the edges of some boards & no obvious delamination was observed although this was inherently difficult to observe due to the extensive moss growth. Note, limited access to the rear of the building did not identify any obvious areas of loose moss debris to ground. It should however be duly noted that should any moss debris to the rear elevation ground be found there is a possibility that it could be contaminated with asbestos. | | | | | |
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis | |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | | Chrysotile (1) |
| | Building | | Room | Item | Quantity | | |
| | Outbuilding | | Elevations, E1b, (See Drawings) | Cement Sheets 01 To All Elevations | See external entry | | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility | |
| | 2 | As SA003979* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Medium Damage (2) | Occasionally likely to be disturbed | |
| | Material Risk Score | | Status | | | | |
| 5 (LOW RISK) | | No Change | | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | | |
| Surveyor comments | | No changes observed. Entry comprises the small profile sheets, see photo & drawing for reference & orientation. The external side of the wall sheets are weathered & are in fair condition excluding localised areas of minor damage to the edges of some boards & an area of breakage to the low level Southwest side that has not deteriorated since the last inspection, see photo. | | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)


| | | | | | | |
|--|----------------------------|---|---------------------------------|------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Outbuilding | | Elevations, E1b, (See Drawings) | Cement Sheet 02 To Front Elevation | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 3 | SA003980* (S) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No changes or deterioration observed. Comprises a single sheet to the front elevation that is different to cement sheets 01 & 03 & was subsequently sampled independently. Weathered but in fair condition. | | | | |

| | | | | | | |
|---|----------------------------|---|---------------------------------|-------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Outbuilding | | Elevations, E1b, (See Drawings) | Cement Sheets 03 To Front Elevation | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 4 | SA003981* (S) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No changes or deterioration observed. Comprise 2 sheets to the front elevation that are different to cement sheets 01 & 02 & were subsequently sampled independently. Weathered but in fair condition. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample

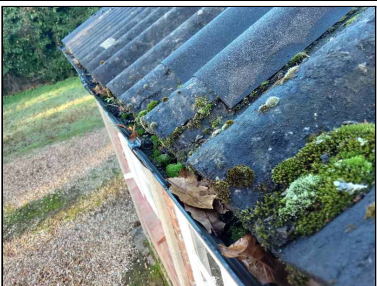

Asbestos Products (cont)

| | | | | | | |
|--|----------------------------|---|-------------------------------|---|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Outbuilding | | Internal, G1b, (See Drawings) | Rearside of Cement Boards To Roof & Walls | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 5 | As SA003979* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | Unable to Access | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No inspection access as no key available. Upon undertaking the previous inspection, the rearside of the cement roof & wall boards were in fair condition. | | | | |

| | | | | | | |
|---|----------------------------|--|-------------------------------|---|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Outbuilding | | Internal, G2b, (See Drawings) | Rearside of Cement Boards To Roof & Walls | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 6 | As SA003979* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Remedial Action Required - See surveyors comments | | | | |
| Surveyor comments | | No changes. The rearside of the cement roof & wall boards are in fair condition & the area of low level damage tp the Southwest corner is covered over. Some stored items were however found to be leaning against the cement wall boards & should therefore be moved so as not to disturb or damage the boards. | | | | |



KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample

Asbestos Products (cont)

| | | | | | | |
|---|----------------------------|---|--------------------------------------|---|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Pitched Roof, R1a, (See Drawings) | Cement Sheets 04 To Roof | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 7 | SA003982* (S) | Asbestos Cement (1) | Surface Sealed (1) | Medium Damage (2) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 5 (LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No changes or further deterioration observed. Upon localised & limited inspections, the areas of delamination do not appear to have not got any worse & are only present to a few localised areas. The remaining cement roof sheets are mostly intact & in fair condition & have been painted with a bitumen paint & have areas of patching & repairs. There is also an area to the north side of the roof that is covered with corrugated tin sheeting. Due to the evidence of patching & repairs & visible delaminated areas, it is recommended that the client considers removal & replacement in the longer term. Refer to Section 4 for general information regarding managing & maintaining asbestos cement products. | | | | |
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Pitched Roof, R1a, (See Drawings) | Possible Contaminated Moss Within Gutters | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 8 | As SA003982* (SP) | Asbestos Cement (1) | Surface Sealed (1) | High Damage (3) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos (see Recommendations) | | | | |
| Surveyor comments | | No changes. Loose moss was observed within the gutters & it is highly likely that the loose moss is contaminated with asbestos fibres. It is therefore recommend that as & when required, the gutters are cleaned utilising asbestos trained & competent personnel. | | | | |


KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample

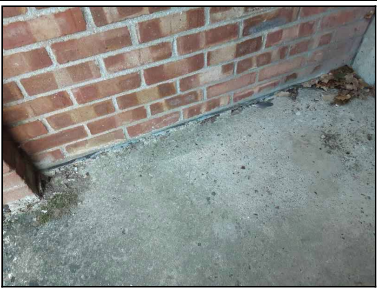
Asbestos Products (cont)

| | | | | | | |
|---|----------------------------|---|--------------------------------------|--|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Sloping Roof, R2a, (See Drawings) | Cement Sheets 05 To Roof | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 9 | SA003983* (S) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No changes or deterioration observed. The roof sheets are weathered & in fair condition & have light moss growth. | | | | |
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Sloping Roof, R2a, (See Drawings) | Possible Contaminated Moss Within Gutter | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 10 | As SA003983* (SP) | Asbestos Cement (1) | Surface Sealed (1) | High Damage (3) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos (see Recommendations) | | | | |
| Surveyor comments | | Only small amounts of loose moss was observed within the gutters & it is highly likely that the loose moss is contaminated with asbestos fibres. It is therefore recommend that as & when required, the gutters are cleaned utilising asbestos trained & competent personnel. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample



Asbestos Products (cont)

| | | | | | | |
|--|----------------------------|---|---------------------------------|--|------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | N/A |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Elevations, E1a, (See Drawings) | Critical Window Fixings Not Accessible | N/A | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 11 | Visual (P) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | No Change | | | | |
| Recommended action | | Presume Asbestos Present - HSG 264 survey protocols dictate that any areas/items where inspection access was not obtained must (by default) be presumed to contain asbestos until definitively proven otherwise | | | | |
| Surveyor comments | | No changes. Unable to access the window fittings & determine the composition of any window packing without completely removing the window. It is known that asbestos insulating board was occasionally used as a convenient packing material to level Critical windows & doors & Chrysotile asbestos was also used as plug material for window & door fixings. Any asbestos materials will not be apparent until the windows & doors are removed. | | | | |

| | | | | | | |
|---|----------------------------|--|---------------------------------|-----------------------------------|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | External | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Elevations, E1a, (See Drawings) | Bitumen Damp Course To Elevations | See external entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 12 | SA003984* (S) | Reinforced Composite (1) | Completely Sealed (0) | Low Damage (1) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 3 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos (see Recommendations) | | | | |
| Surveyor comments | | No changes observed. Unlikely to be disturbed during normal occupancy. Sample obtained from exposed section in porch. | | | | |


KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)

| | | | | | | |
|---|----------------------------|--|---|---------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile + Amosite (2) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Hall, G4a, (See Drawings) | Insulating Board Panel, P1 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 13 | ID/01a {SA003985}* (S) | Asbestos Insulating Board (2) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | Updated | | | | |
| Recommended action | | <p>Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations)</p> | | | | |
| Surveyor comments | | <p>Insulating board panel P1, (see drawing) has been encapsulated/sealed with paint & an asbestos warning label has been applied. There is a slight area of breakage to the corner which is sealed & is secure, i.e. not loose. Asbestos Insulating Board (AIB) is a low density, friable material. Working with this material, including encapsulation & repair must only be undertaken by a specialist licensed contractor. See Section 4 for further details.</p> | | | | |
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | N/A |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Throughout, Where Present, (See Drawings) | Wall Mounted Heaters Not Dismantled | 7 | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 14 | Visual (P) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | Unable to Access | | | | |
| Recommended action | | <p>Presume Asbestos Present - HSG 264 survey protocols dictate that any areas/items where inspection access was not obtained must (by default) be presumed to contain asbestos until definitively proven otherwise</p> | | | | |
| Surveyor comments | | <p>No changes, all still present. Subjected to external inspection only & no ACMs observed. May possibly contain internal asbestos parts & components. 7 units intotal, refer to the drawings for orientation. Refer to Section 6 for further information regarding presumed plant & electrical items.</p> | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)

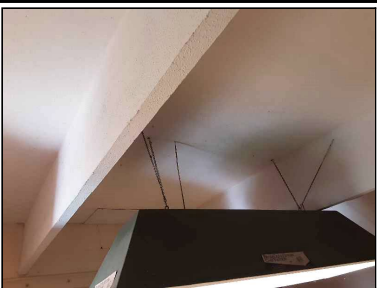
| | | | | | | |
|--|----------------------------|--|------------------------------|--------------------------------|--------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | No Asbestos Detected |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Kitchen, G5a, (See Drawings) | Textured Coating 01 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 15 | SA003986* (S) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | N/A | | | | |
| Recommended action | | No further action required | | | | |
| Surveyor comments | | The textured coatings to the ceilings within locations: G5a & G6a were deemed to be of the same composition. Subsequent representative sample/scrapings from both areas were included in the sample bag submitted for analysis to ensure a definitive & accurate result. | | | | |

| | | | | | | |
|--|----------------------------|--|------------------------------|--------------------------|--------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | No Asbestos Detected |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Kitchen, G5a, (See Drawings) | Bitumen Pad Beneath Sink | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 16 | SA003987* (S) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | N/A | | | | |
| Recommended action | | No further action required | | | | |
| Surveyor comments | | The bitumen pad beneath the sink is in poor condition & is peeling. If positive for asbestos content, remove entirely or remove any loose material & seal over with gaffer tape or similar product & manage in-situ. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)


| | | | | | | |
|--|----------------------------|--|---------------------------------|--------------------------------|--------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | No Asbestos Detected |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Store Room, G6a, (See Drawings) | Textured Coating 01 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 17 | As SA003986* (SP) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | N/A | | | | |
| Recommended action | | No further action required | | | | |
| Surveyor comments | | The textured coatings to the ceilings within locations: G5a & G6a were deemed to be of the same composition. Subsequent representative sample/scrapings from both areas were included in the sample bag submitted for analysis to ensure a definitive & accurate result. | | | | |

| | | | | | | |
|--|----------------------------|--|-----------------------------------|--------------------------------|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Snooker Room, G7a, (See Drawings) | Textured Coating 02 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 18 | SA003988* (S) | Textured Coating (1) | Surface Sealed (1) | Good Condition (0) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 3 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | No changes or deterioration observed. Painted & in good/fair condition. Present to ceiling & ceiling beams. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample



Asbestos Products (cont)

| | | | | | | |
|--|----------------------------|---|--------------------------|--------------------------|--------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | No Asbestos Detected |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Bar, G8a, (See Drawings) | Bitumen Pad Beneath Sink | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 19 | SA003989* (S) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | N/A | | | | |
| Recommended action | | No further action required | | | | |
| Surveyor comments | | Mostly intact, edges have started to peel. Monitor condition. | | | | |

| | | | | | | |
|--|----------------------------|--|---------------------------------|-----------------------------------|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Roof Void | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Roof Void, RV-1, (See Drawings) | Underside Of Cement Roof Sheets . | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 20 | As SA003982* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | Limited inspection, no changes observed. The underside of the cement roof sheets are in fair condition. | | | | |


KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)

| | | | | | | |
|--|----------------------------|--|----------------------------------|-----------------------------------|--------------------|--|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Roof Void | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Roof Void, RV-2, (See Drawings) | Underside Of Cement Roof Sheets . | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 21 | As SA003983* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | <p>Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations)</p> | | | | |
| Surveyor comments | | <p>Limited inspection, no changes observed. The underside of the cement roof sheets are in fair condition.</p> | | | | |
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Roof Void | Chrysotile (1) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Roof Void, RV-03, (See Drawings) | Underside Of Cement Roof Sheets . | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 22 | As SA003982* (SP) | Asbestos Cement (1) | Surface Sealed (1) | Low Damage (1) | Usually inaccessible or unlikely to be disturbed |
| | Material Risk Score | | Status | | | |
| 4 (VERY LOW RISK) | | No Change | | | | |
| Recommended action | | <p>Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations)</p> | | | | |
| Surveyor comments | | <p>Limited inspection, no changes observed. The roof sheets can be observed where a section of the fibreboard ceiling panels have partly fallen down, see photo. The underside of the cement roof sheets are in fair condition.</p> | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample


Asbestos Products (cont)


| | | | | | | |
|--|----------------------------|---|-----------------------------------|--------------------------|--------------------|----------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | No Asbestos Detected |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Snooker Room, G7a, (See Drawings) | Supalux Panel To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 23 | CD000112* (S) | N/A | N/A | N/A | N/A |
| | Material Risk Score | | Status | | | |
| N/A | | Additional Entry | | | | |
| Recommended action | | No further action required | | | | |
| Surveyor comments | | Not Previously identified. Supalux board is a modern low density fireboard that can be recognised by the presence of reflective mica within the board that is not present within asbestos insulating board (AIB). | | | | |

| | | | | | | |
|--|----------------------------|---|-------------------------------|---------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile + Amosite (2) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Hall, G4a, (See Drawings) | Insulating Board Panel, P2 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 24 | As ID/01a {SA003985}* (SP) | Asbestos Insulating Board (2) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | Updated | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | Insulating board panel P2, (see drawing) has been encapsulated/sealed with paint & an asbestos warning label has been applied. There is a slight area of breakage to the corner which has been encapsulated & a gap at the bottom edge of the board. Upon inspection, the board is however secure, i.e. not loose. Asbestos Insulating Board (AIB) is a low density, friable material. Working with this material, including encapsulation & repair must only be undertaken by a specialist licensed contractor. See Section 4 for further details. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample

Asbestos Products (cont)

| | | | | | | |
|--|----------------------------|--|-------------------------------|---------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile + Amosite (2) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Hall, G4a, (See Drawings) | Insulating Board Panel, P3 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 25 | As ID/01a {SA003985}* (SP) | Asbestos Insulating Board (2) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | Updated | | | | |
| Recommended action | | Manage in Situ - Manage by ensuring anyone likely to disturb are made aware of the presence of asbestos, label (where practical) & undertake 12 monthly inspections for damage & deterioration (see Recommendations) | | | | |
| Surveyor comments | | Insulating board panel P3, (see drawing) has been encapsulated/sealed with paint & an asbestos warning label has been applied. There is a slight gap at the top corner of the board which upon inspection was found to be secure, i.e. not loose. Asbestos Insulating Board (AIB) is a low density, friable material. Working with this material, including encapsulation & repair must only be undertaken by a specialist licensed contractor. See Section 4 for further details. | | | | |

| | | | | | | |
|---|----------------------------|--|-------------------------------|---------------------------------------|--------------------|-------------------------------------|
|  | Re-inspection Date: | | Lead Surveyor | Survey Type | Floor | Analysis |
| | 22 Oct 2024 | | Shaun Applegate | Reinspection Survey | Ground Floor | Chrysotile + Amosite (2) |
| | Building | | Room | Item | Quantity | |
| | Village Hall | | Hall, G4a, (See Drawings) | Insulating Board Panel, P4 To Ceiling | See internal entry | |
| | Item Number | Sample No (S,SP,P,As) | Product Type | Surface Treatment | Condition | Accessibility |
| | 26 | As ID/01a {SA003985}* (SP) | Asbestos Insulating Board (2) | Surface Sealed (1) | Low Damage (1) | Occasionally likely to be disturbed |
| | Material Risk Score | | Status | | | |
| 6 (LOW RISK) | | Updated | | | | |
| Recommended action | | Remedial Action Required - See surveyors comments | | | | |
| Surveyor comments | | Insulating board panel P4, (see drawing) has been encapsulated/sealed with paint & an asbestos warning label has been applied. The bottom edge of the board appears to have dropped slightly since the last inspection. The board is however well secured by 3 fixings & is (at present) deemed very unlikely to fall under normal circumstances. It is however strongly recommended that the board is closely monitored for any further changes or movement. Asbestos Insulating Board (AIB) is a low density, friable material. Working with this material, including encapsulation & repair must only be undertaken by a specialist licensed contractor. See Section 4 for further details. | | | | |

KEY: ID/ or S – Sampled, P – Presumed, SP – Strongly Presumed, AS – Cross reference to former sample

Bulk Sample Certificate



No additional samples were taken during the course of this survey.

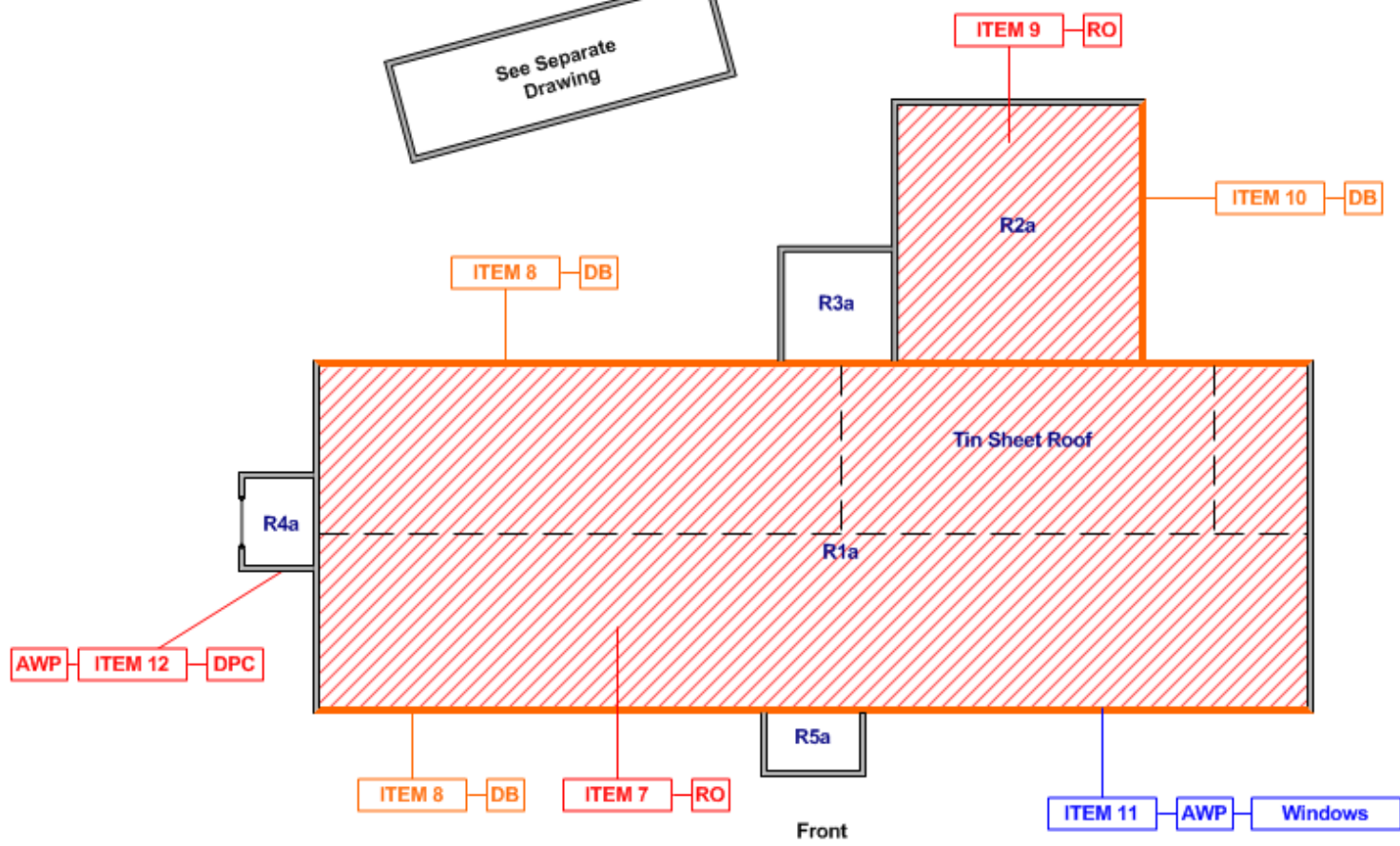
Plans



EXTERNAL HALL



See Separate Drawing



KEY



Location Contains Identified or Presumed ACM/s

- RO = Roof Sheets
- DB = AC Debris

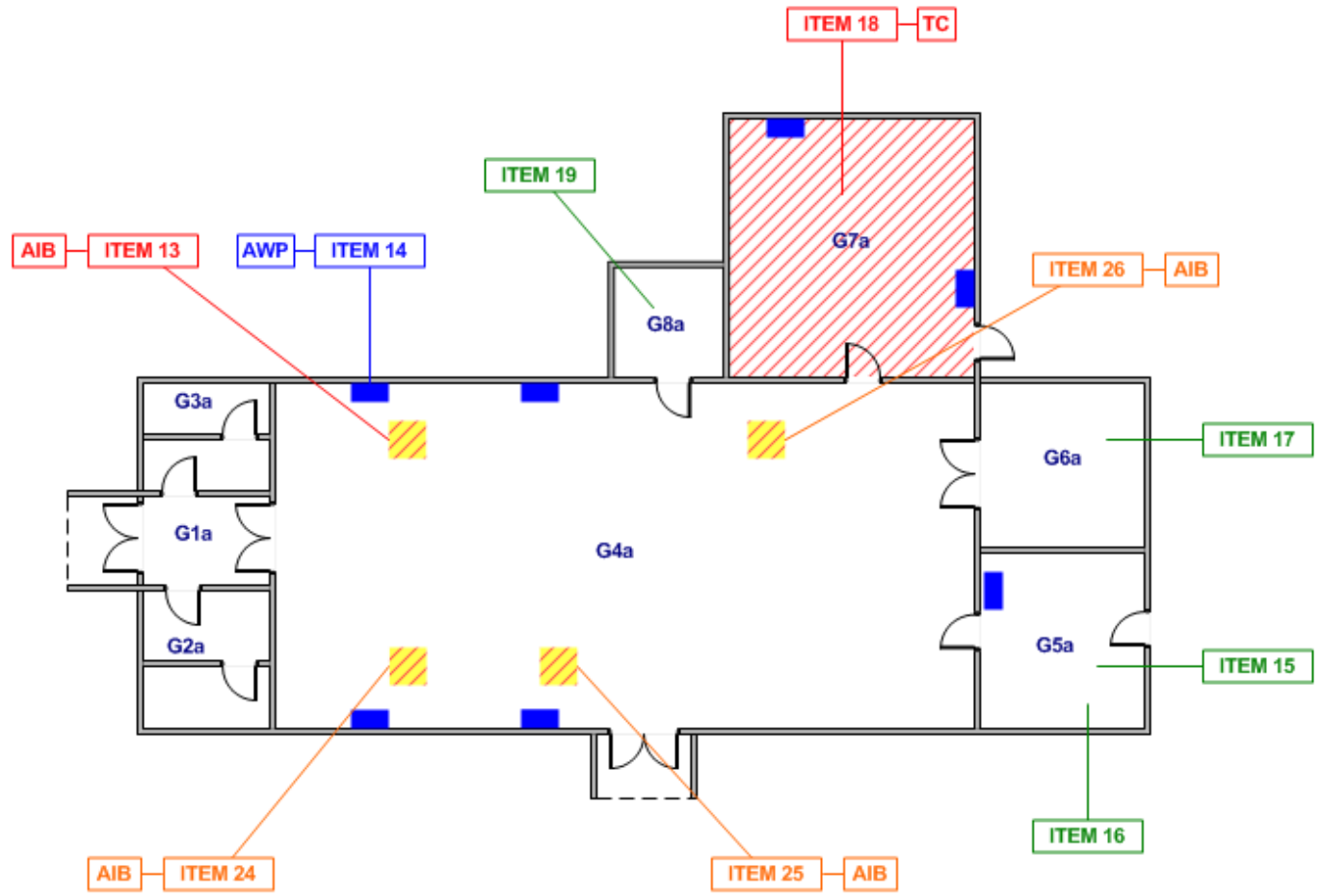
AWP = All Where Present

- ITEM.... Positive/Sampled ACM
- ITEM.... Strongly Presumed ACM
- ITEM.... Presumed ACM or No Access
- ITEM.... Negative Sample or Non Asbestos

ACM: Asbestos Containing Material



INTERNAL HALL



KEY



Location Contains Identified or Presumed ACM/s



Location Contains Friable or High / Medium Risk ACM/s



Plant/Electrical Not Dismantled

AIB = Asbestos Insulating Board

TC = Textured Ceiling

AWP = All Where Present

ITEM.... Positive/Sampled ACM

ITEM.... Strongly Presumed ACM

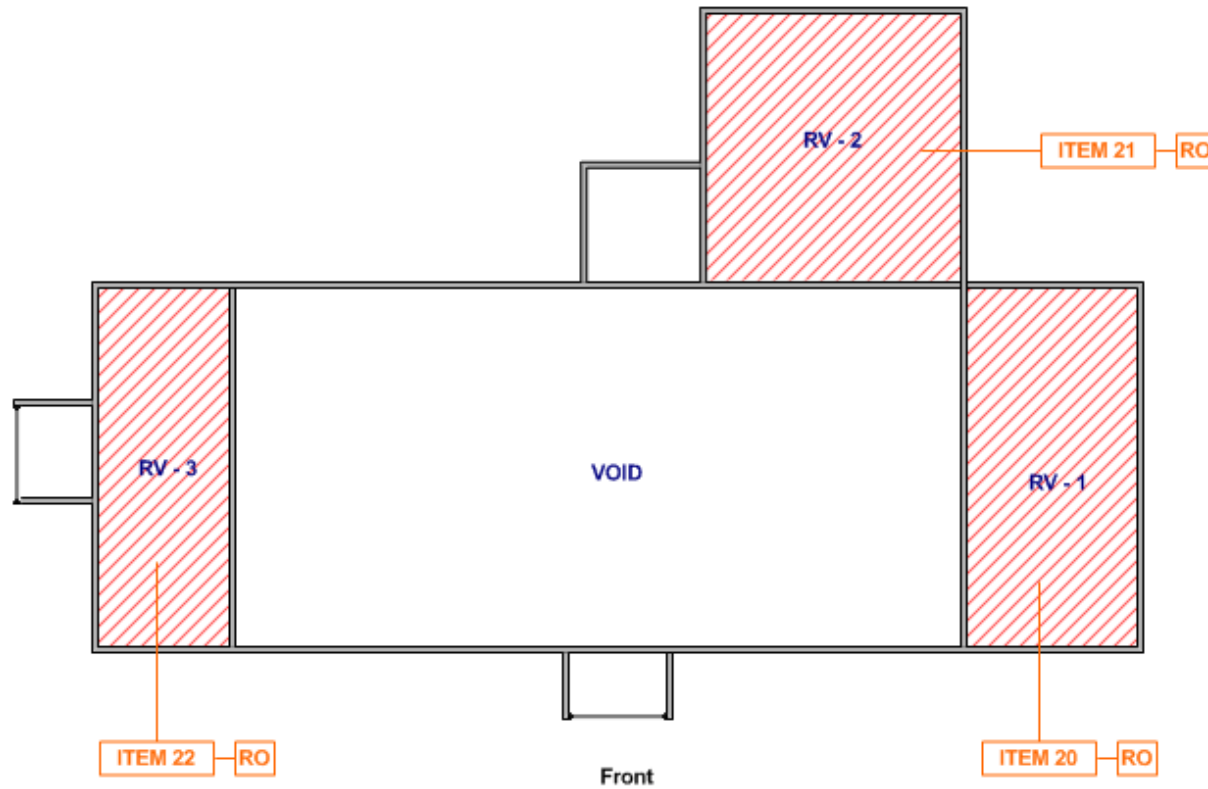
ITEM.... Presumed ACM or No Access

ITEM.... Negative Sample or Non Asbestos


ACM: Asbestos Containing Material


NOTE: PLANT, PIPE-WORK & ELECTRICAL INSTALLATIONS HAVE NOT BEEN DISMANTLED FOR INSPECTION





HALL - ROOF VOIDS



KEY

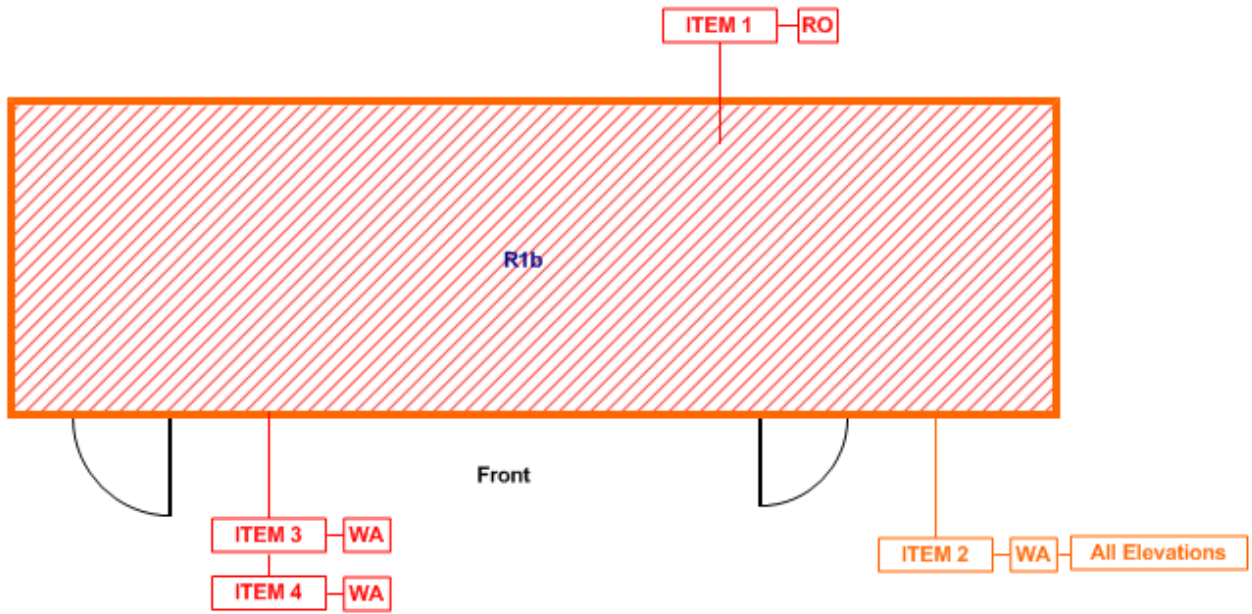
 Location Contains Identified or Presumed ACM/s

 = Roof Sheets

-  Positive/Sampled ACM
-  Strongly Presumed ACM
-  Presumed ACM or No Access
-  Negative Sample or Non Asbestos

ACM: Asbestos Containing Material

OUTBUILDING - EXTERNAL



KEY



Location Contains Identified or Presumed ACM/s

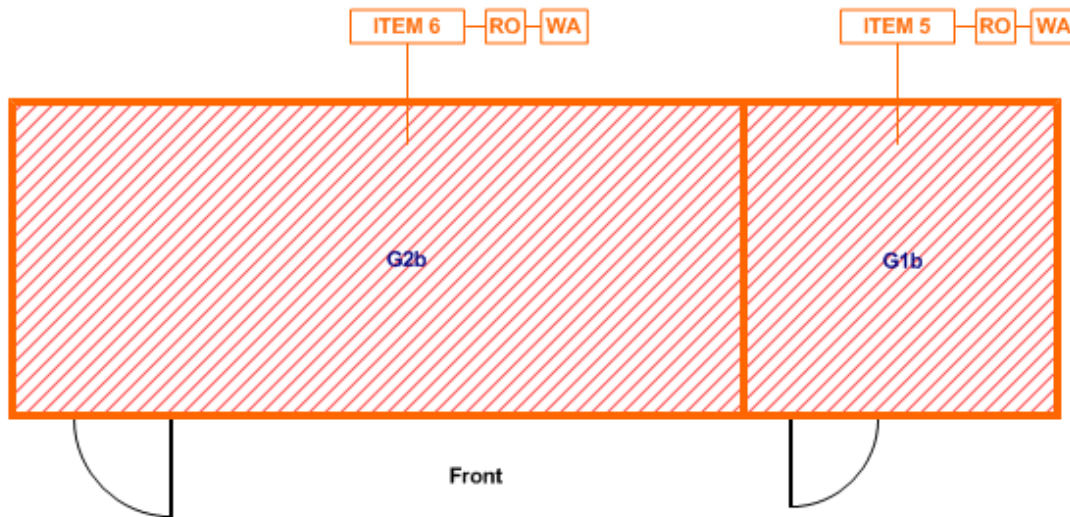
RO = Roof Sheets

WA = Wall Boards

- ITEM...** Positive/Sampled ACM
- ITEM...** Strongly Presumed ACM
- ITEM...** Presumed ACM or No Access
- ITEM...** Negative Sample or Non Asbestos

ACM: Asbestos Containing Material

OUTBUILDING - INTERNAL



KEY



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ACM: Asbestos Containing Material